

# HISTORIC AND DESIGN REVIEW COMMISSION

May 18, 2022

**HDRC CASE NO:** 2022-266  
**ADDRESS:** 321 W SUMMIT AVE  
**LEGAL DESCRIPTION:** NCB 3263 BLK 6 LOT 10  
**ZONING:** R-5, H  
**CITY COUNCIL DIST.:** 7  
**HIST. DIST. NAME:** Monte Vista  
**APPLICANT:** Ashley Ricketson/Locksley Architecture + Design Studio  
**OWNER:** DAVID PHIPPS/321 W SUMMIT AVE  
**TYPE OF WORK:** Porch modifications, windows, repair and maintenance  
**APPLICATION RECEIVED:** April 28, 2022  
**60-DAY REVIEW:** Not applicable due to City Council Emergency Orders  
**CASE MANAGER:** Jessica Anderson

## REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Repair the roof and repaint wood elements on the east porch,
2. Replace screens with vinyl windows, and
3. Replace a screen door with a 15-light door.

## APPLICABLE CITATIONS:

*Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations*

6. Architectural Features: Doors, Windows, and Screens

### A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.
- iv. *Screens and shutters*—Preserve historic window screens and shutters.
- v. *Storm windows*—Install full-view storm windows on the interior of windows for improved energy efficiency. Storm window may be installed on the exterior so long as the visual impact is minimal and original architectural details are not obscured.

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.

- vi. *Replacement glass*—Use clear glass when replacement glass is necessary. Do not use tinted glass, reflective glass, opaque glass, and other non-traditional glass types unless it was used historically. When established by the architectural style of the building, patterned, leaded, or colored glass can be used.
- vii. *Non-historic windows*—Replace non-historic incompatible windows with windows that are typical of the architectural style of the building.
- viii. *Security bars*—Install security bars only on the interior of windows and doors.
- ix. *Screens*—Utilize wood screen window frames matching in profile, size, and design of those historically found when the existing screens are deteriorated beyond repair. Ensure that the tint of replacement screens closely matches the original screens or those used historically.
- x. *Shutters*—Incorporate shutters only where they existed historically and where appropriate to the architectural style of the house. Shutters should match the height and width of the opening and be mounted to be operational or appear to be operational. Do not mount shutters directly onto any historic wall material.

## 7. Architectural Features: Porches, Balconies, and Porte-Cocheres

### A. MAINTENANCE (PRESERVATION)

- vi. *Existing porches, balconies, and porte-cocheres*—Preserve porches, balconies, and porte-cocheres. Do not add new porches, balconies, or porte-cocheres where not historically present.
- vii. *Balusters*—Preserve existing balusters. When replacement is necessary, replace in-kind when possible or with balusters that match the originals in terms of materials, spacing, profile, dimension, finish, and height of the railing.
- viii. *Floors*—Preserve original wood or concrete porch floors. Do not cover original porch floors of wood or concrete with carpet, tile, or other materials unless they were used historically.

### B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- xi. *Front porches*—Refrain from enclosing front porches. Approved screen panels should be simple in design as to not change the character of the structure or the historic fabric.
- xii. *Side and rear porches*—Refrain from enclosing side and rear porches, particularly when connected to the main porch or balcony. Original architectural details should not be obscured by any screening or enclosure materials. Alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch.
- xiii. *Replacement*—Replace in-kind porches, balconies, porte-cocheres, and related elements, such as ceilings, floors, and columns, when such features are deteriorated beyond repair. When in-kind replacement is not feasible, the design should be compatible in scale, massing, and detail while materials should match in color, texture, dimensions, and finish.
- xiv. *Adding elements*—Design replacement elements, such as stairs, to be simple so as to not distract from the historic character of the building. Do not add new elements and details that create a false historic appearance.  
*Reconstruction*—Reconstruct porches, balconies, and porte-cocheres based on accurate evidence of the original, such as photographs. If no such evidence exists, the design should be based on the architectural style of the building and historic patterns.

### *Standard Specifications for Replacement Windows*

Consistent with the Historic Design Guidelines, the following recommendations are made for replacement windows:

- **MATERIALS:** If full window replacement is approved, the new windows must feature primed and painted wood exterior finish. Clad, composition, or non-wood options are not allowed unless explicitly approved by the commission.
- **SASHES:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.

- **DEPTH:** There should be a minimum of 2” in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- **TRIM:** Original trim details and sills should be retained or repaired in kind. If approved, new window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- **GLAZING:** Replacement windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- **COLOR:** Replacement windows should feature a painted finished. If a clad product is approved, white or metallic manufacturer’s color is not allowed, and color selection must be presented to staff.
- **INSTALLATION:** Replacement windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval

**FINDINGS:**

- a. The applicant is requesting a Certificate of Appropriateness for approval to: (1) repair the roof and repaint wood elements on the east porch, (2) replace screens with vinyl windows, and (3) replace a screen door with a 15-light door.
- b. 321 W Summit Ave is a two-story Colonial Revival residence built c 1922. The address first appears in the 1922-3 volume of the San Antonio city directory, and first appears on a Sanborn Fire Insurance map in 1931. The house is wood-clad with a side-gable roof form. The central mass is flanked to the west by a porte cochere with a room above and to the east by an enclosed porch with roof deck. The property contributes to the Monte Vista historic district.
- c. **ADMINISTRATIVE APPROVAL:** Item 3, the proposed roof repair and repainting wood elements, is eligible for administrative approval, and it is not necessary for the Historic and Design Review Commission (HDRC) to review these scopes of work.
- d. **PORCH MODIFICATION:** The applicant has proposed to enclose an existing side porch with windows; the porch is currently enclosed with screen. According the historic design guidelines for exterior alterations and maintenance 7.B.ii., alterations to side and rear porches should result in a space that functions, and is visually interpreted as, a porch. Staff finds that the proposed enclosure does not obstruct any original architectural features and allows the porch to still function and be visually interpreted as a porch.
- e. **WINDOWS:** The applicant proposes replacing screens with Wincore 8400 Series white vinyl windows. Staff finds the proposed replacement windows do not conform to staff’s standards for replacement windows.
- f. **DOOR:** The applicant proposes replacing a screed door with a 15-lite door. According the historic design guidelines for exterior alterations and maintenance 6.B.i and v, new doors should match the material and profile of the historic element, and use an exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Internal muntins sandwiched between layers of glass should not be used.

**RECOMMENDATION:**

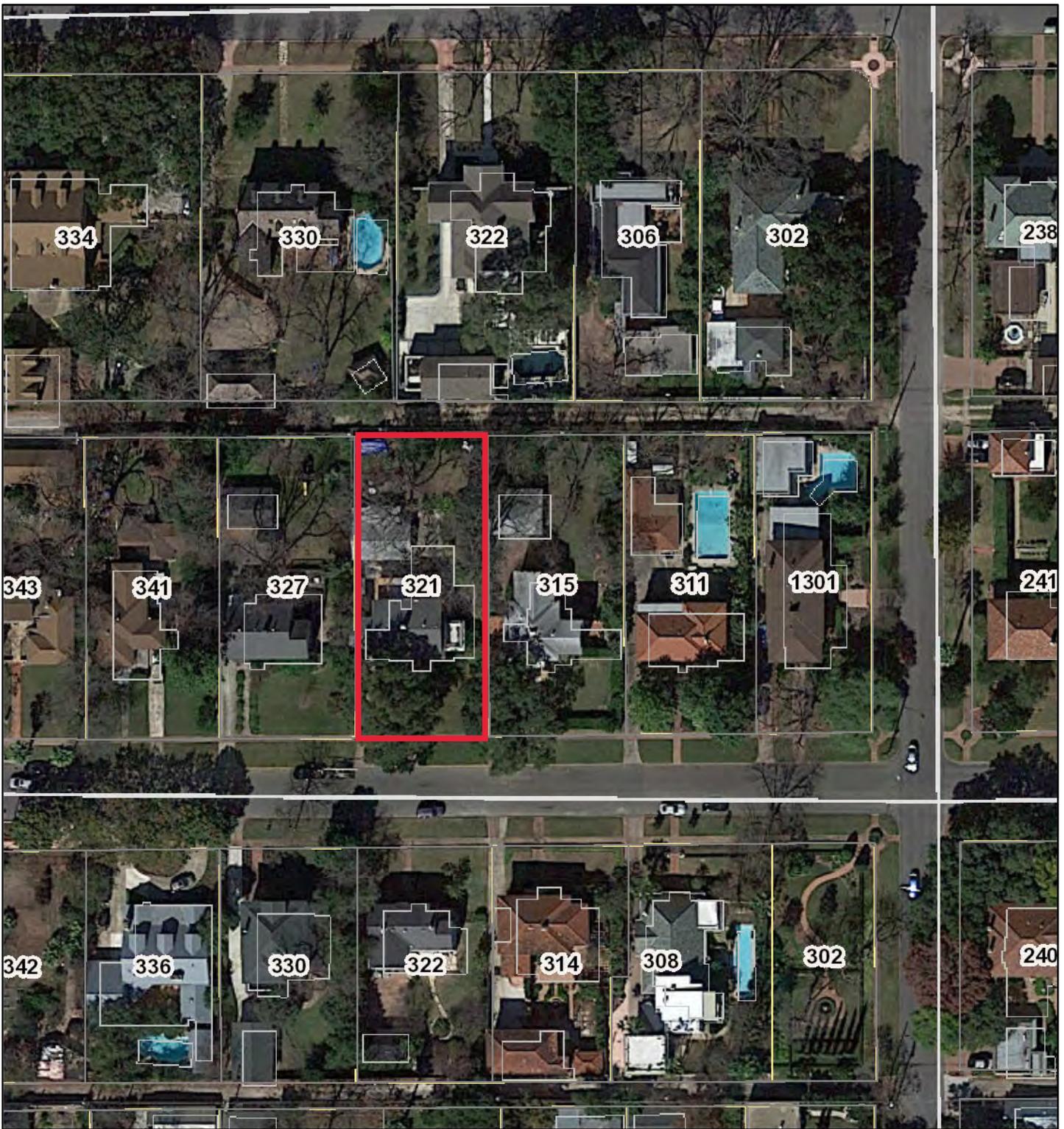
Staff recommends approval of item 2, replacement of screens with vinyl windows, with the following stipulation:

- i. That the proposed windows be wood or aluminum-clad wood.

Staff recommends approval of item 3, replacement of a screen door with a 15-light door, with the following stipulation:

- i. That the door be wood and not feature a faux divided lite configuration.

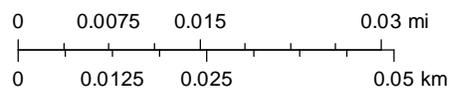
# City of San Antonio One Stop



May 12, 2022

1:1,000

- |  |                           |  |                          |
|--|---------------------------|--|--------------------------|
|  | CoSA Addresses            |  | Recorded Plats           |
|  | Community Service Centers |  | Preliminary Plats        |
|  | Pre-K Sites               |  | COSA City Limit Boundary |
|  | CoSA Parcels              |  |                          |
|  | BCAD Parcels              |  |                          |



# PORCH RENOVATION

321 W. SUMMIT, SAN ANTONIO, TX 78212



SITE PLAN



## PORCH RENOVATION

321 W. SUMMIT, SAN ANTONIO, TX 78212

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Job No. 21.008  
Date 11/30/2021

24" X 36" SHEET SIZE

TITLE SHEET  
**G.001**

### GENERAL NOTES

**PROJECT SCOPE:**  
Conversion of screened porch into an enclosed, conditioned room.  
Project is located in Monte Vista Historic District and is to follow Monte Vista Homeowners Association regulations.

### LOCATION

321 W Summit, San Antonio, TX 78212

### PROJECT TEAM

**ARCHITECT:**  
**LOCKSLEY ARCHITECTURE + DESIGN STUDIO**  
ASHLEY RICKETSON  
LOCKSLEYSTUDIO@GMAIL.COM  
234 BANK, SAN ANTONIO, TX 78204

### SHEET INDEX

G.001 TITLE SHEET  
A2.00 PLANS AND SCHEDULES  
A2.10 ELEVATIONS



EXISTING HEADER AND COLUMN



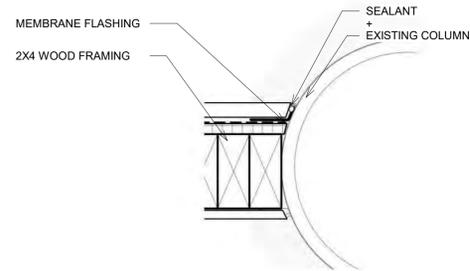
EXISTING ROOF



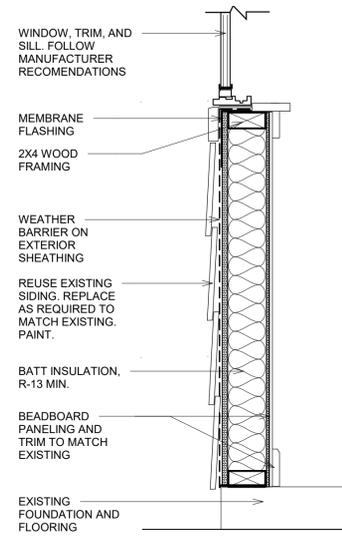
EXISTING CEILING



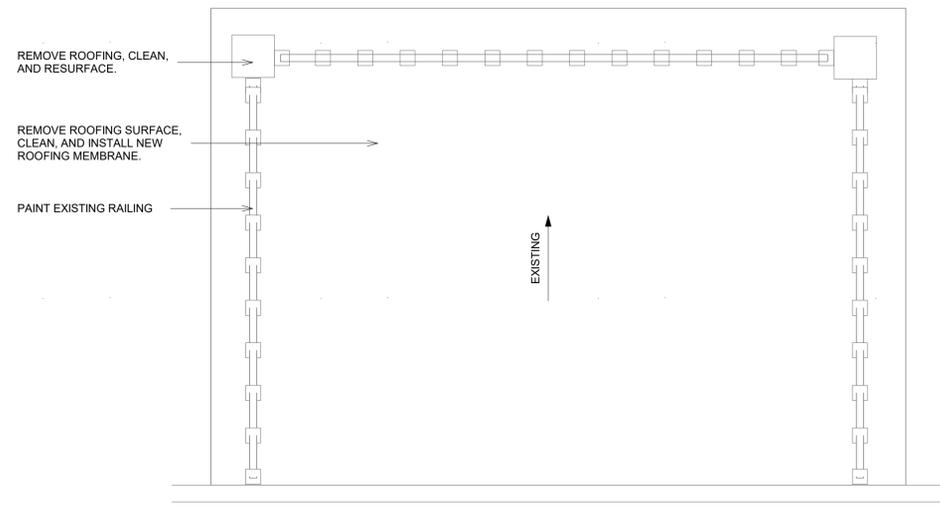
INTERIOR



5 PLAN DETAIL  
3" = 1'-0"



4 WALL SECTION  
1 1/2" = 1'-0"



3 ROOF PLAN  
1/2" = 1'-0"

WINDOW SCHEDULE						
Type Mark	Type	Width	Height	Head Height	Type	Count
W1	48" X 72"	4' - 0"	6' - 0"	9' - 0"	SLIDING	3
W2	52" X 72"	4' - 6"	6' - 0"	9' - 0"	SLIDING	3
W3	32" x 24"	2' - 8"	2' - 0"	9' - 0"	FIXED	1
W4	15" x 72"	1' - 3"	6' - 0"	9' - 0"	FIXED	1

\*WINCORE 8400 SERIES

DOOR SCHEDULE						
Type Mark	Type	Width	Height	Head Height	Type	Count
D1	32" x 80"	2' - 8"	6' - 8"	6' - 8"		1

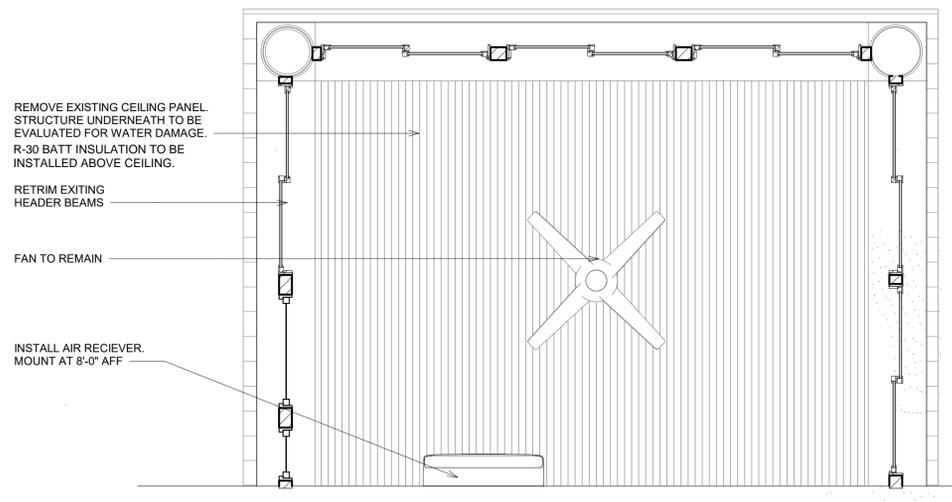
Mechanical Equipment Schedule		
Type Mark	Type	Count
MS	Mini Split Ductless Outdoor Unit	1
WMS	Mini Split Ductless Wall Unit	1

**DEMOLITION NOTES**

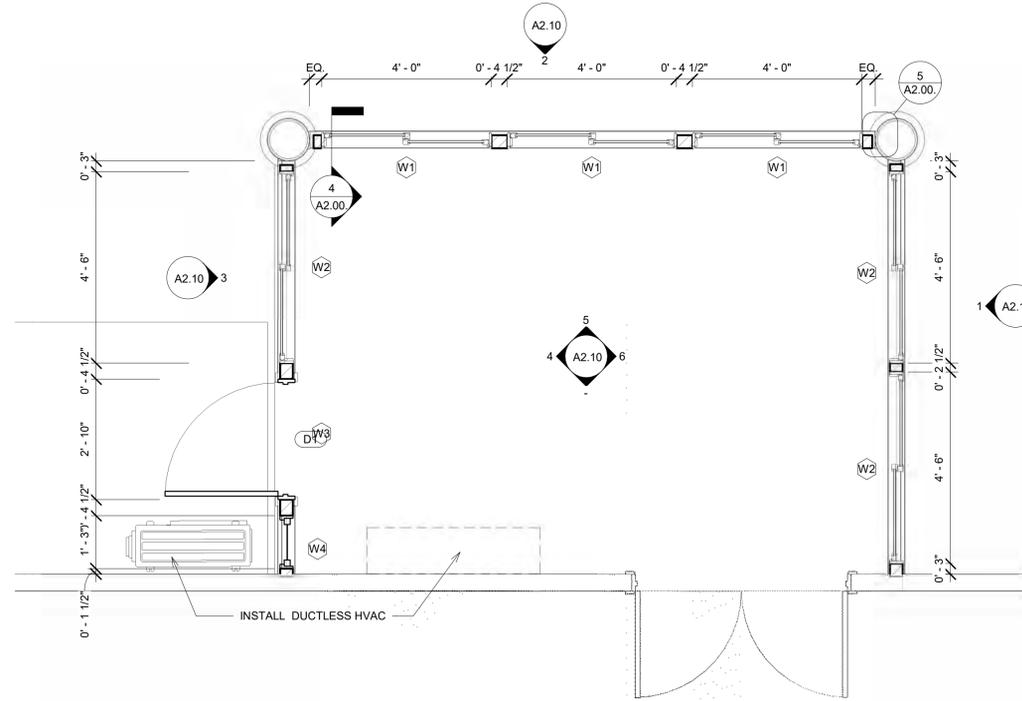
- EXISTING WALL FRAMING, INTERIOR PANELING, AND SCREENS TO BE DEMOLISHED. EXISTING EXTERIOR SIDING TO BE REUSED.

**GENERAL NOTES**

- CONTRACTOR TO VERIFY ALL CONDITIONS AND PLAN DIMENSIONS PRIOR TO BEGINNING ANY CONSTRUCTION OR FABRICATION, AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL STATE AND LOCAL BUILDING CODES AND GOVERNMENTAL REGULATORY AGENCIES.
- THE GENERAL CONTRACTOR TO VERIFY SIZE, LOCATIONS, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT SUPPLIED BY THE OWNER OR OTHERS WITH THE MANUFACTURER OR SUPPLIER PRIOR TO THE START OF THE RELATED WORK.
- UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSION NOT GIVEN TO BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.



2 CEILING PLAN  
1/2" = 1'-0"



1 FLOOR PLAN  
1/2" = 1'-0"



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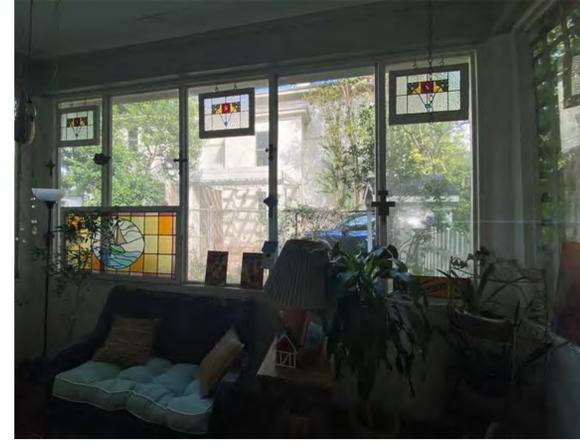
EXTERIOR ELEVATION - BACK



EXTERIOR ELEVATION - SIDE



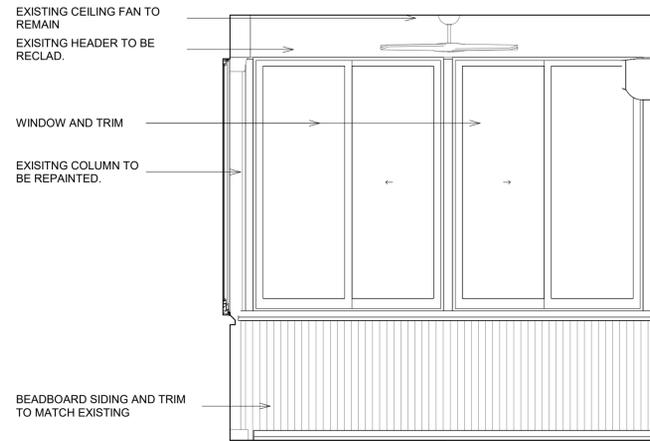
INTERIOR ELEVATION - FRONT



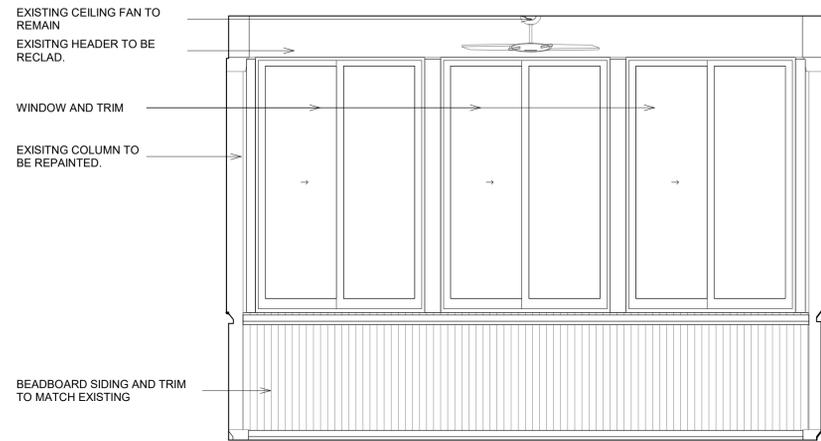
INTERIOR ELEVATION - SIDE



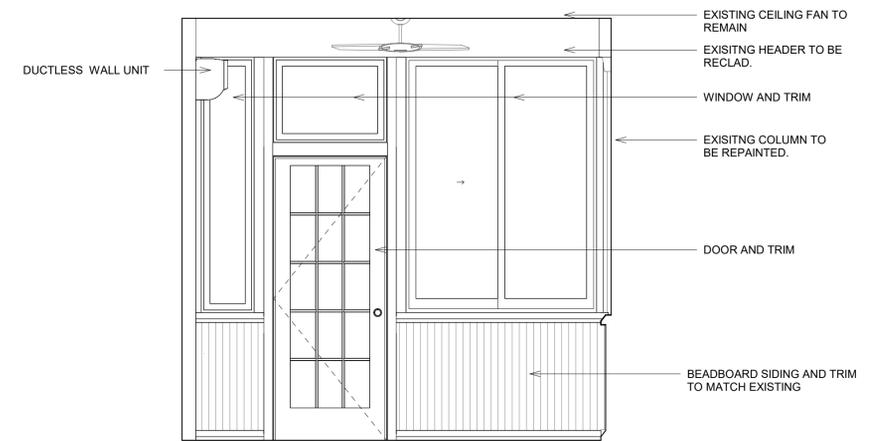
INTERIOR ELEVATION - BACK



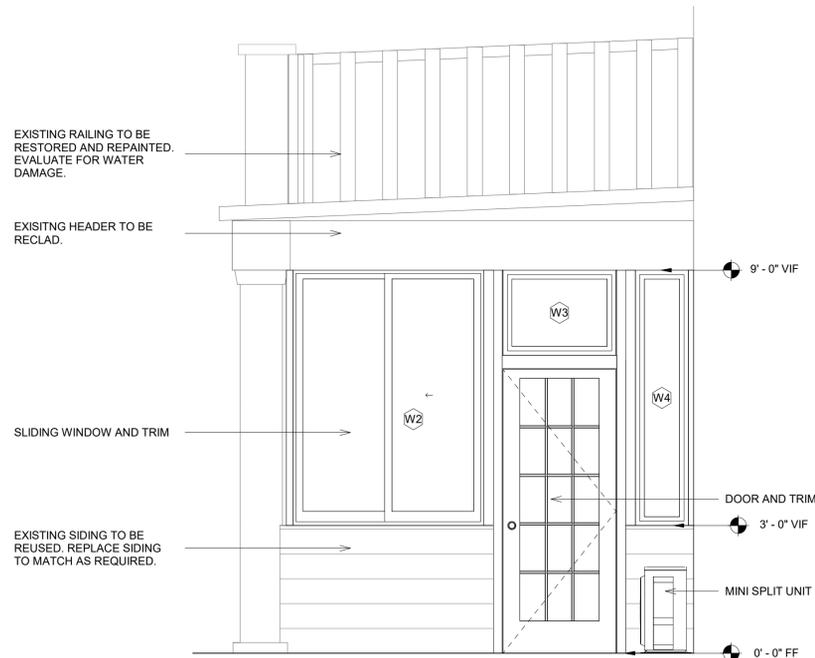
6 INTERIOR ELEVATION - FRONT  
1/2" = 1'-0"



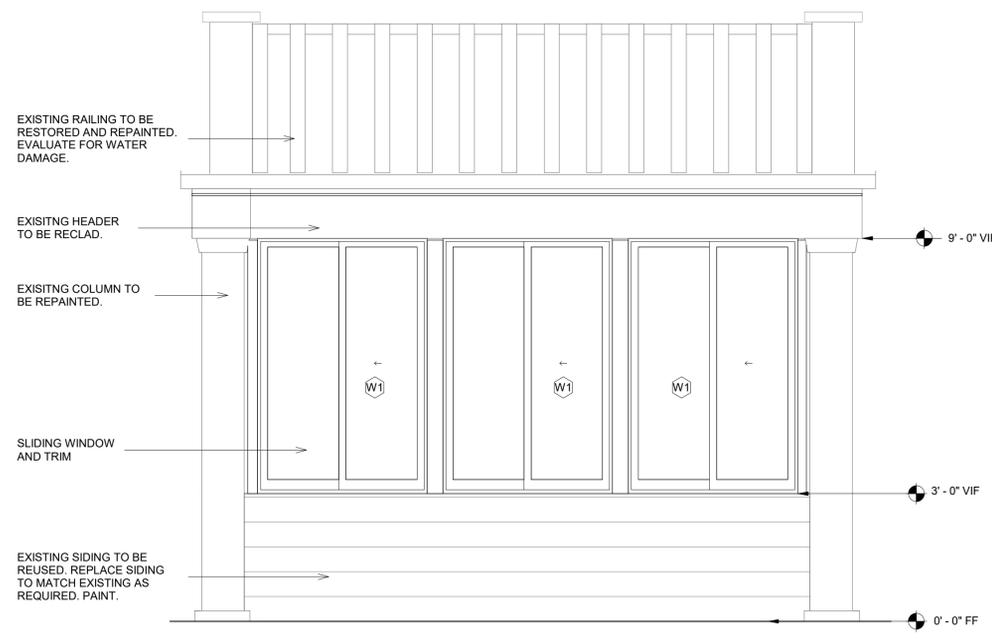
5 INTERIOR ELEVATION - SIDE  
1/2" = 1'-0"



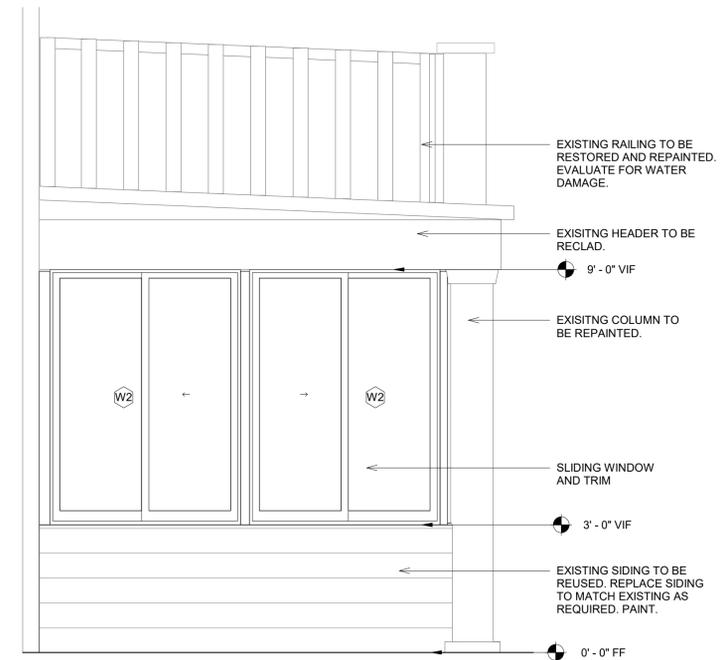
4 INTERIOR ELEVATION - BACK  
1/2" = 1'-0"



3 EXTERIOR ELEVATION - BACK  
1/2" = 1'-0"



2 EXTERIOR ELEVATION - SIDE  
1/2" = 1'-0"



1 EXTERIOR ELEVATION - FRONT  
1/2" = 1'-0"



## WINDOW SELECTION

In order to keep as close to the same appearance as the current screen porch, we are requesting to use Wincore Vinyl, 8400 Series windows in white. Because this will be a four-seasons room which will be used to open the windows to allow air flow, these windows would be ideal in this application for operability and maintenance. The windows would be replacing screens that are not original to the house, and have minimal visibility from the road.

### 8400 SERIES DOUBLE SLIDER

**Standard Features**

- Non-impact high performance product.
- Frame and sash are high-heat fusion welded at precision mitered corners for strength and water-tightness.
- 3/4" insulating glass with Low E and an Argon gas fill.
- Unique water drainage system greatly improves water evacuation and minimizes air infiltration.
- Dual seal sash-to-frame weatherstripping creates a premier barrier against the elements.
- Marine-grade, corrosion-resistant cam locks remain warm to the touch and the colors complement all 14 available window color combinations.
- Slider windows feature an innovative raised monorail track system in the sill that not only provides reinforcement, but also allows sash to glide smoothly above the dirt and debris that tends to accumulate.



[Literature & Warranty Download](#)
[Care & Cleaning](#)



**EXISTING**



**PROPOSED**

### Standard Features

Feature	Detail
Frame Type	Replacement (No Nailing Fin or J-Channel)
Exterior Frame Design	Beveled
Frame Construction	Welded
Sash Construction	Welded
Jamb Thickness	3-1/4"
Vinyl Profile	Chambered
Vinyl Color	White
Spacer System	Intercept®
Insulating Glass Unit	3/4"
Glass Type	Low E / Argon
Glass Strength	Double
Weatherseals	Finseal
Meeting Stile	Interlocking
Sash Operation	Nylon Rollers
Cam Lock	Single: Units <23-1/16" Tip-to-Tip; Double: Units > 23-1/16" Tip-to-Tip
Screen	Extruded Fiberglass Half
Pull Stile	Integral
Vent Latch	Single



FRONT ELEVATION

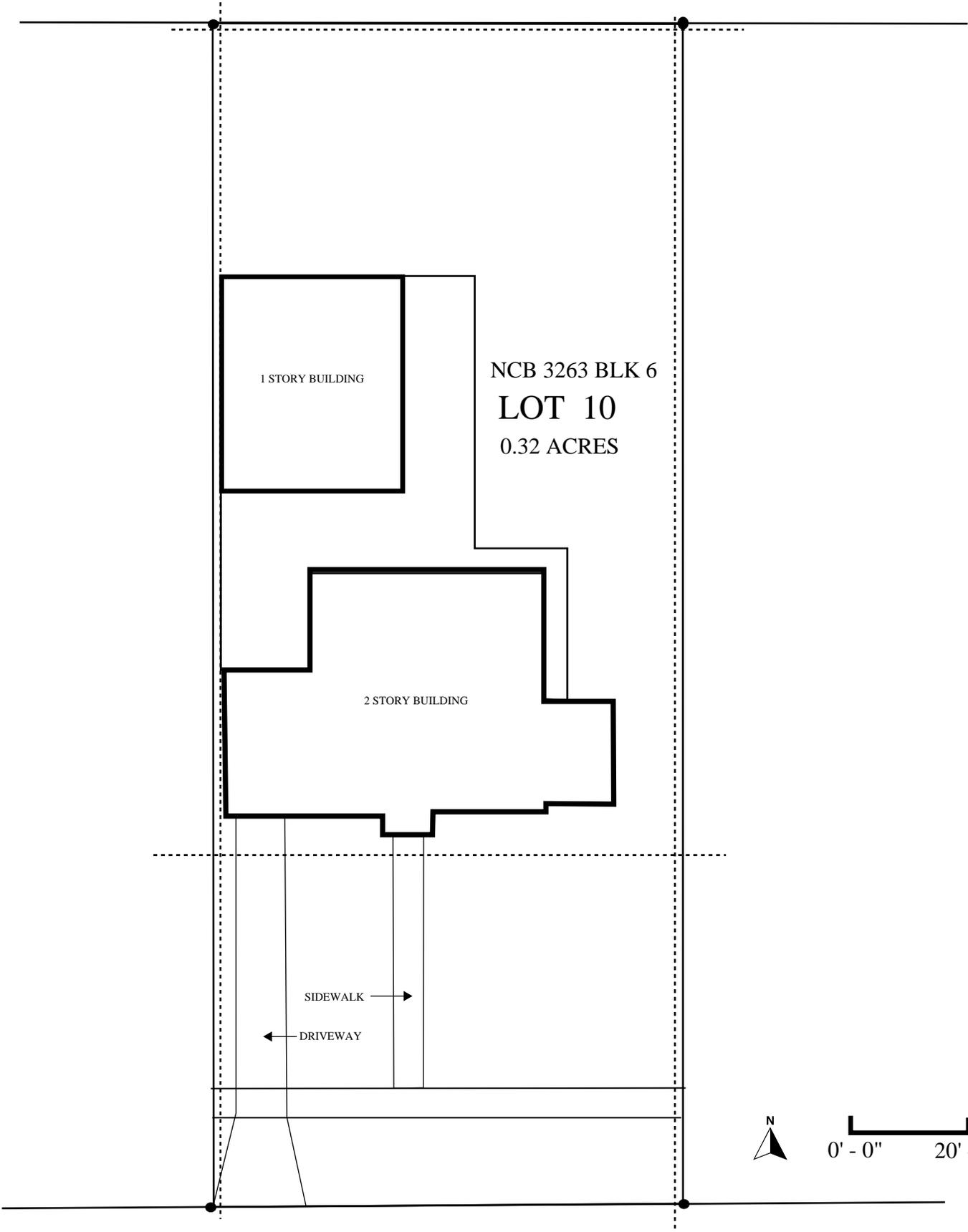


BACK ELEVATION



SIDE ELEVATION

EASEMENT



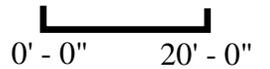
NCB 3263 BLK 6  
**LOT 10**  
0.32 ACRES

1 STORY BUILDING

2 STORY BUILDING

SIDEWALK →

← DRIVEWAY



WEST SUMMIT

321 WEST SUMMIT AVE  
SAN ANTONIO, TX

**SITE PLAN**



FRONT - SOUTH



FRONT/ SIDE - SOUTH EAST



SIDE - EAST



SIDE / BACK - NORTH EAST



BACK - NORTH



BACK - NORTH



BACK/ SIDE - NORTH WEST



SIDE - WEST



FRONT ELEVATION



BACK ELEVATION



SIDE ELEVATION